



**Record No:**  
**WP-26-3**

Wetlands  
Permitting

Status: Active

Submitted On:  
1/23/2026

**Primary Location**

129 WOODLAND RD  
Coventry, CT 06238

**Owner**

LENHARDT, RICHARD  
HEATHER LN 19  
VERNON, CT 06066

**Applicant**

Andrew Bushnell  
 860-643-7875  
 abushnell@bushnellassociatesllc.com  
 563 Woodbridge St  
Manchester, Connecticut 06042

Applicant/Owner Information: Please note that "?" bubbles throughout the application provide additional helpful information when hovered over.

Applicant Information

Applicant's Association to Owner:\*

Engineer

Applicant Business Name (if applicable)

Bushnell Associates LLC

Owner Information

Owner Name

Richard Lenhardt

Owner Phone Number

860-841-9553

Owner Email Address

richardlenhardt@yahoo.com

Owner Address

129 Woodland Rd. Coventry CT 06238

Additional Information

**Additional Agent, Engineer, Contractor Information (if applicable):**

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## Wetlands Permitting

**Type of Wetlands Application:\***

**Regulated Activity Being Applied For: \***

Regulated Activity Application

Activity Within a Wetlands Upland Review Area

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## Activity/Project Information

**Description of Proposed Activity(s):\* ?**

Removal of existing garage and concrete pad. Construction of new garage / 2nd floor Accessory Dwelling Unit within same footprint of existitng garage and concrete pad

**Distance in Feet from Regulated Wetlands/Watercourse:\***

**Square feet of Wetlands, Watercourse and/or Regulated Area Impacted:**

51

Wetlands & Watercourse 0 SQ.FT.  
Regulated Area 1,688 SQ.FT.

**Describe measures (if any) that will be taken to minimize the impact on wetlands, watercourses, and the regulated areas:**

Installation and maintainance of silt fence during construction

**Any additional and/or pertinent information:**

No proposed increase in Impervious Lot Coverage

**Is any portion of the property on which the regulated activity is proposed located within 500 feet of an adjoining municipality?\***

No

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# Acknowledgments

**MANDATORY PRE APPLICATION FOR ALL LAND USE, HEALTH, AND BUILDING APPLICATIONS** Except for interior work in existing buildings and exterior work that does not expand or alter the footprint of an existing building. Effective October 1, 2005 no Land Use, Health or Building application for a permit may be filed until the holder(s) of any conservation restriction or preservation restriction on the subject property has been notified. Please see the attached legislation, PA 05-124. Please provide the name of the property owner(s) and street address of the property for which one of the above applications will be submitted and complete either A or B below. Property Owner(s): Address of Permit Application: A. I hereby certify there are NO conservation easements or restrictions nor any preservation restrictions on the above referenced property. B. There ARE conservation easements or restrictions or preservation restrictions on the above referenced property. Name/Phone Number of Restriction Holder: Please attach one of the following: I. Proof that the holder of the conservation or preservation restriction was notified by certified mail return receipt requested of the property owner's intent to apply for a Land Use, Health or Building permit in the [[orgFullName]]. 2. A letter from the conservation or preservation restriction holder verifying that the application is in compliance with the terms of the restriction.\*



The undersigned electronic signature hereby grants permission to this Agency and its Agent to conduct any necessary inspections of this property, at reasonable times, both before and after the permit in question has been granted by the Agency/Agent.\*



I HEREBY ACKNOWLEDGE AND CERTIFY THAT I'M PERSONALLY FAMILIAR WITH ALL THE INFORMATION PROVIDED IN THIS APPLICATION AND THAT ALL STATEMENTS AND REPRESENTATIONS MADE ARE TRUE TO THE BEST OF MY KNOWLEDGE. I FURTHER CERTIFY THAT I AM AWARE OF THE PENALTIES FOR OBTAINING A PERMIT THROUGH DECEPTION OR THROUGH INACCURATE OR MISLEADING INFORMATION.\*



I agree that my electronic signature below warrants the truth of all statements contained herein and in all supporting documents according to the best of the Agent &/or Owner(s) knowledge and belief, and that it is equivalent to a handwritten signature and is binding for all purposes related to this transaction.\*

 Andrew Bushnell -Agent  
Jan 21, 2026

## Record Activity

Andrew Bushnell started a draft Record	01/21/2026 at 2:50 pm
Andrew Bushnell added file 129 Woodland Road Garage Designs.pdf	01/21/2026 at 3:25 pm
Andrew Bushnell added file Zoning Location Survey 129 Woodland Rd Coventry CT.pdf	01/23/2026 at 10:09 am
Andrew Bushnell submitted Record WP-26-3	01/23/2026 at 10:09 am
OpenGov system completed document step IWA Application Checklist on Record WP-26-3	01/23/2026 at 10:09 am
OpenGov system altered approval step Preliminary Staff review, changed status from Inactive to Active on Record WP-26-3	01/23/2026 at 10:09 am
OpenGov system assigned approval step Preliminary Staff review to Lindsay Beutler on Record WP-26-3	01/23/2026 at 10:09 am
Lindsay Beutler approved approval step Preliminary Staff review on Record WP-26-3	01/23/2026 at 1:58 pm

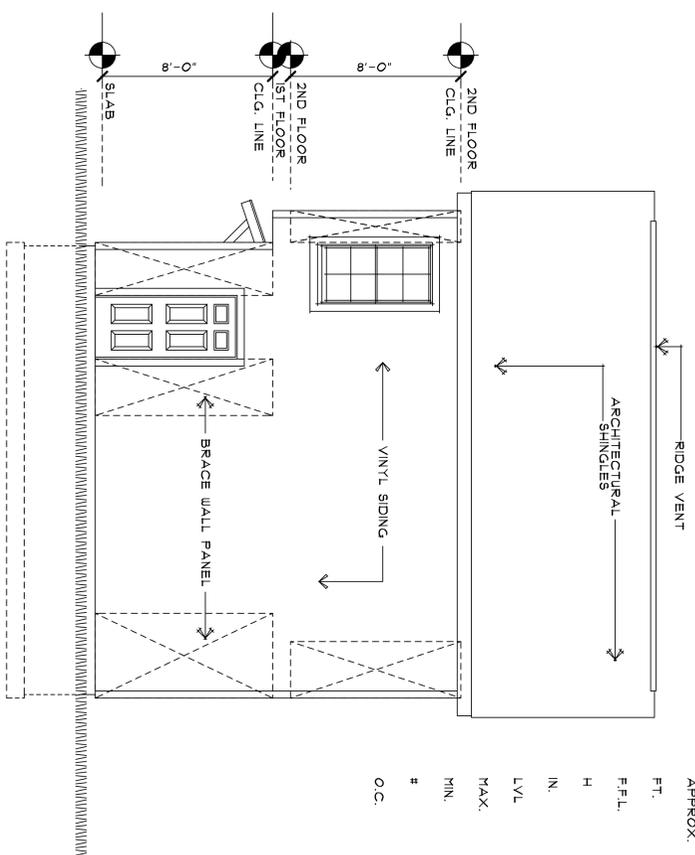
## Timeline

Label	Activated	Completed	Assignee	Due Date	Status
 IWA Application Checklist	1/23/2026, 10:09:40 AM	1/23/2026, 10:09:40 AM	-	-	Completed
 Preliminary Staff review	1/23/2026, 10:09:40 AM	1/23/2026, 1:58:46 PM	Lindsay Beutler	-	Completed
 Admin Review for Fee Review	1/23/2026, 1:58:48 PM	-	Patty Cortes	-	Active
 Fee	-	-	Andrew Bushnell	-	Inactive
 Zoning Review	-	-	-	-	Inactive

Label	Activated	Completed	Assignee	Due Date	Status
<input checked="" type="checkbox"/> Approvals from Agency or Agent	-	-	-	-	Inactive
<input checked="" type="checkbox"/> Issuance of Decision Letter/Permit	-	-	-	-	Inactive
<input checked="" type="checkbox"/> Inspections: Please Call to Schedule Pre-Construction Meeting	-	-	-	-	Inactive

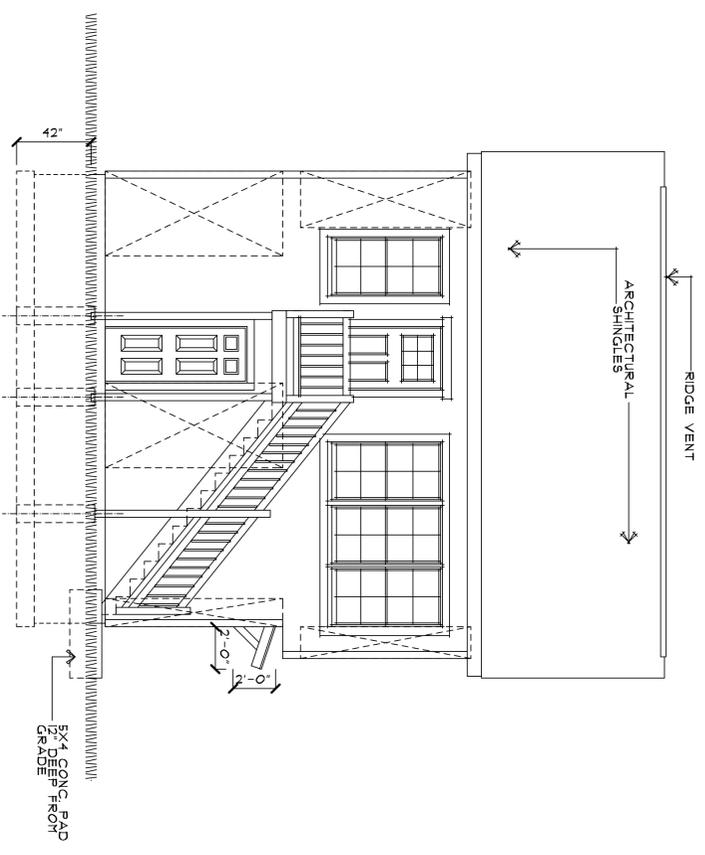
# LIST OF ABBREVIATIONS

ABBREVIATION	MEANING
LB.	POUNDS
PSF	POUNDS PER SQUARE FOOT
PSI	POUNDS PER SQUARE INCH
P.T.	PRESSURE TREATED
REBAR	REINFORCED STEEL
REQ'D	REQUIRED
SQ.FT.	SQUARE FOOT/FEET
T & G	TONGUE AND GROOVE
TYP.	TYPICAL
W	WIDTH
W/	WITH
WWT	WELDED WIRE MESH
AND	
AT	
APPROX.	APPROXIMATE (LY)
FT.	FOOT/FEET
F.F.L.	FINISHED FLOOR LEVEL
H	HEIGHT
IN.	INCHES
LVL	LAMINATED-VENEER LUMBER
MAX.	MAXIMUM
MIN.	MINIMUM
#	NUMBER
O.C.	ON CENTER



## RIGHT SIDE ELEVATION

SCALE: 1/4" = 1'-0"



## LEFT SIDE ELEVATION

SCALE: 1/4" = 1'-0"

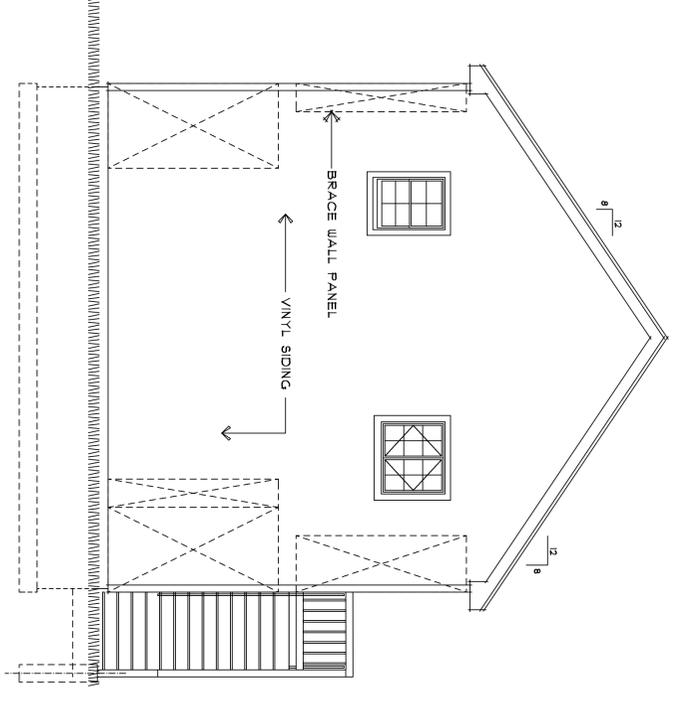
### Governing Building Codes

All construction shall comply with the: 2021 International Residential Code

All construction shall comply with the: 2022 Connecticut State Building Code

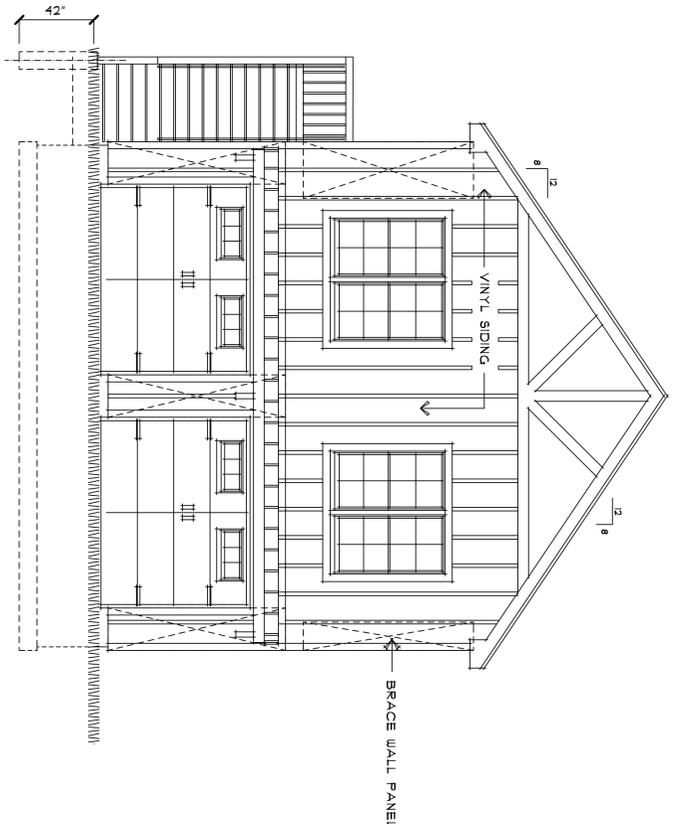
All products listed by ICC/N.E.R. number(s) shall be installed per the report and manufacturer's written instructions. Product substitution(s) for product(s) listed shall also have an ICC approved evaluation report(s) or be approved.

1. Exterior wall bottom sill plate, shall be pressure treated or equal, and shall bear/extend minimum 6 inches above finished grade.
2. Miscellaneous site structures, pools, spas, fences, site walls, retaining walls, and gas storage tanks require separate permits.
3. Exterior wall penetrations by pipes, ducts or conduits shall be caulked.
4. Provide roof attic ventilation per ( R904.1)
5. Lumber shall bear an approval grading stamp. (R502.1)
6. Gypsum board applied to a ceiling shall be 1/2" when framing members are 12" o.c. or 5/8" when framing members are 24" o.c. or use labeled sag-resistant gypsum ceiling board. Table R702.1.3 (2).
7. Fixtures located in damp or wet locations shall be "listed" to be suitable for such location.
8. Provide GFCI protection for receptacles at within 4ft. of all lavatories, sinks and bathtubs.
9. Provide GFCI protected receptacles at all exterior, bathroom and garage locations.
10. Provide a wall mounted GFCI protected receptacle outlet within 36" of a bathroom or powder room lavatory.
11. All circuits supplying receptacle outlets in all 15 and 20amp branch circuits shall be AFCI protected.
12. Receptacle outlets shall be installed so that no point along the floor line in a wall space is more than 4ft. measured horizontally from an outlet in that space, including any wall space 2 feet or more in width.
13. Provide a separate 20-ampere branch circuit to the laundry.
14. Provide a minimum of two 20-amp small appliance branch circuits for kitchen/dining/breakfast.
15. Provide a concrete encased grounding electrode of not less than 20 feet of #4 bare copper (220 ampere service).
16. Provide bonding to the water piping, gas and metal building systems. (minimum #4 for 200-amp service).
17. All metal piping systems, metal parts of electrical equipment, and pump motors associated with the hydro massage tub shall be bonded to the grounding electrode system. Metal parts of listed equipment incorporating an approved system of double insulation and providing a means for grounding internal non-accessible, non-current-carrying metal parts shall not be bonded.
18. ALL EXPOSED LUMBER TO BE PRESSURE TREATED GRADED SPECIES.
19. ALL BUILDING LUMBER TO BE DOUGLAS FIR LARCH NO. 2 OR BETTER.
20. ROOF POSTS TO BE PLACED AS NECESSARY TO SUPPORT LENGTHY MEMBERS.
21. Headers, all exterior openings to be 2-2x10's unless otherwise noted.
22. Interior headers to be 2-2x8's unless otherwise noted.
23. All cantilevers need to be blocked.
24. Ice barrier is required to extend from the lowest edges of all roof surfaces to a point of least 24" inside the exterior wall line of the building per IRC R905.1.2 measured horizontally.



## REAR ELEVATIONS

SCALE: 1/4" = 1'-0"



## FRONT ELEVATION

SCALE: 1/4" = 1'-0"

**YOUNG DESIGNS UNLIMITED LLC**  
 RESIDENTIAL DESIGN / SPACE DESIGN  
 P.O. BOX 99  
 SCOTLAND, CONNECTICUT 06244-0099  
 CELL#: (860) 908.3509

NOTE: THE BUILDING CONTRACTOR MUST CHECK AND VERIFY ALL DIMENSIONS AND STRUCTURAL ELEMENTS INCLUDING BEAM SIZES, LALLY COLUMN PLACEMENT AND SPACING ETC. BEFORE BEGINNING CONSTRUCTION. ALL CONSTRUCTION TO BE PERFORMED IN STRICT COMPLIANCE OF ALL NATIONAL STATE AND LOCAL BUILDING CODES.

NOTE: IT IS THE RESPONSIBILITY BY THE BUILDER TO REVIEW ALL CONSTRUCTION DOCUMENTS FOR ACCURACY AND COMPLETENESS AND REPORT ANY CHANGES THAT MUST BE MADE TO THE FINAL PLANS BEFORE CONSTRUCTION. THE ACCURACY OF THESE PLANS ARE THE SOLE RESPONSIBILITY OF THE BUILDING CONTRACTOR.

### ELEVATIONS & GENERAL NOTES

DATE: DEC. 3, 2025  
 SCALE: AS NOTED  
 DRAIN BY: B. YOUNG  
 DATA REF: 99191  
 REVISIONS: DATE:

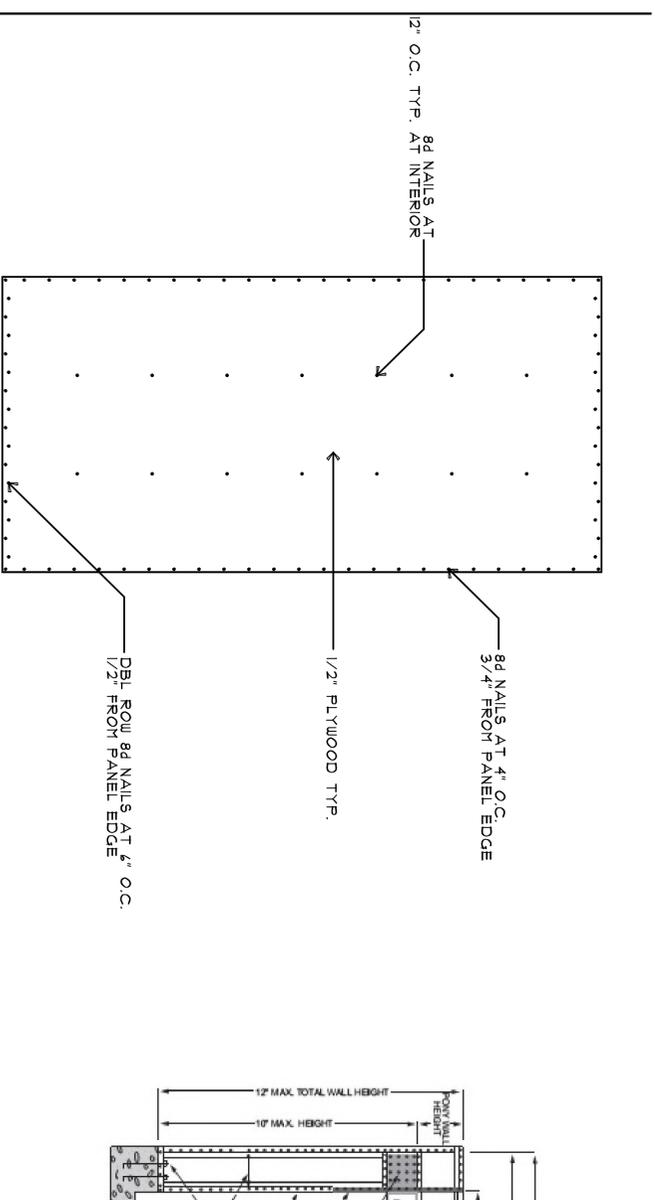
Proposed Garage  
 at  
 129 Woodland Road  
 Coventry, CT.

TOTAL HEATED SPACE: 552 SQ.FT.  
 FIRST FLOOR: 552 SQ.FT.  
 SECOND FLOOR: 552 SQ.FT.  
 SHEET NO. **A**

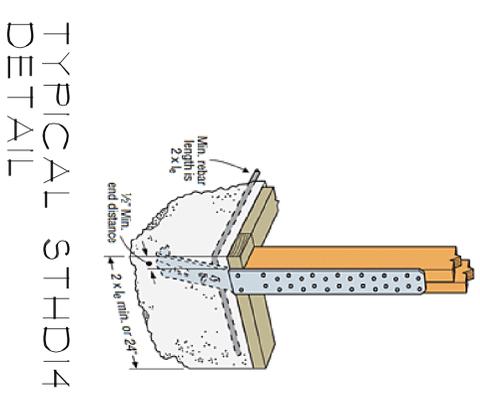


TABLE R602.3(1) FASTENER SCHEDULE FOR STRUCTURAL MEMBERS

ITEM	DESCRIPTION OF BUILDING ELEMENTS	NUMBER AND TYPE	SPACING OF FASTENERS
1	Roof	3-5d (2 1/2" x 0.1193)	7/8" o.c.
2	Roof	3-5d (2 1/2" x 0.1193)	16" o.c. along each edge
3	Roof	3-10d (3" x 0.1937)	16" o.c. along each edge
4	Roof	3-10d (3" x 0.1937)	16" o.c. along each edge
5	Roof	4-10d (3 1/2" x 0.1937)	16" o.c. along each edge
6	Roof	4-10d (3 1/2" x 0.1937)	16" o.c. along each edge
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100	Roof	3-10d (3 1/2" x 0.1937)	16" o.c. along each edge



TYPICAL SHEAR WALL NAILING DETAIL  
NOT TO SCALE



TYPICAL STUD14  
DETAIL  
N.T.S.

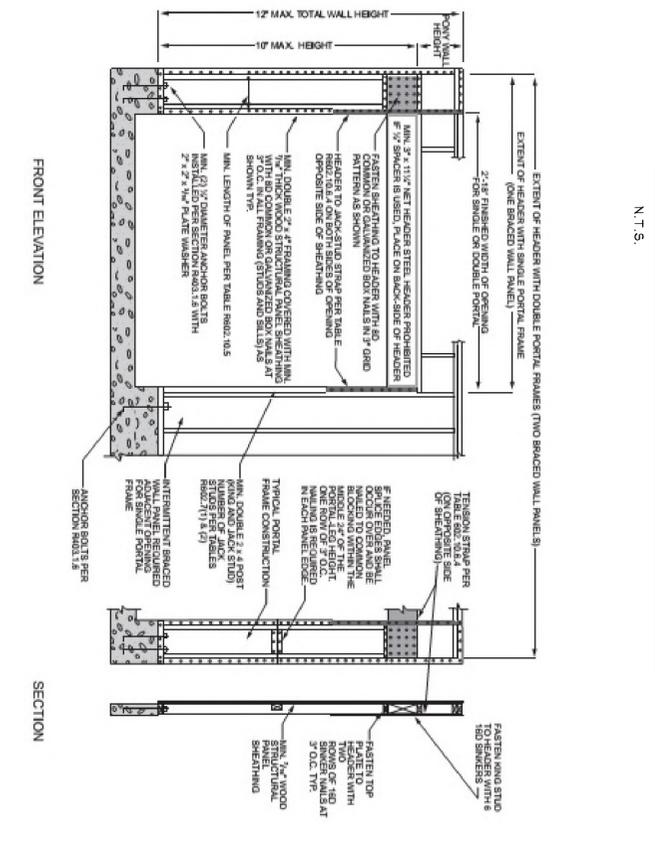
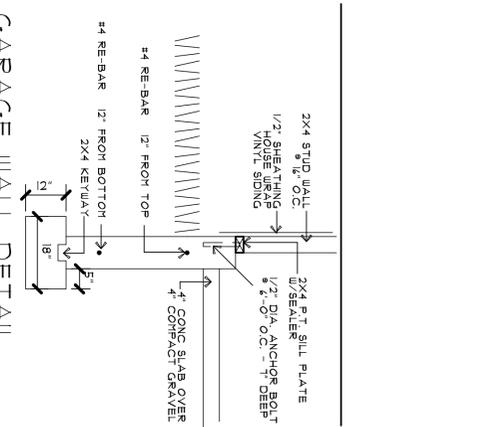
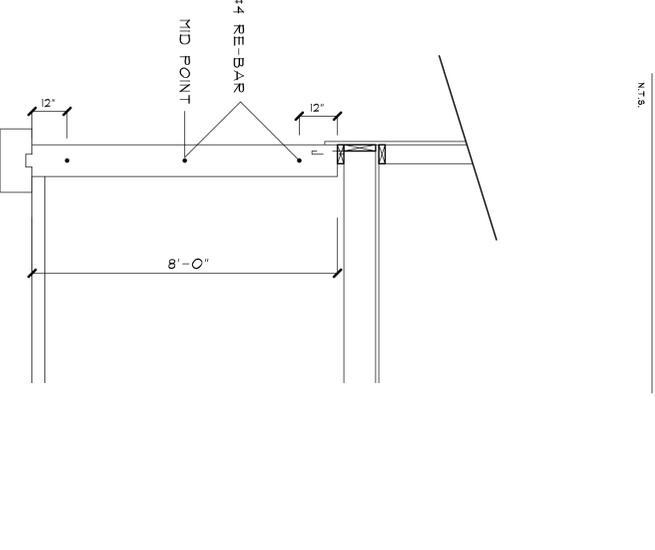


FIGURE R602.10.6.3 METHOD PFG—PORTAL FRAME AT GARAGE DOOR OPENINGS IN SEISMIC DESIGN  
CATEGORIES A, B AND C  
For Sl: 1 inch = 25.4 mm, 1 foot = 304.8 mm.



GARAGE WALL DETAIL  
N.T.S.



RE-BAR LOCATION  
SCALE: 1/4" = 1'-0"

**YOUNG DESIGNS UNLIMITED LLC**  
RESIDENTIAL DESIGN / SPACE DESIGN  
P.O. BOX 99  
SCOTLAND, CONNECTICUT 06244-0099  
CELL#: (860) 908.3509

NOTE: THE BUILDING CONTRACTOR MUST CHECK AND VERIFY ALL DIMENSIONS AND STRUCTURAL ELEMENTS INCLUDING BEAM SIZES, LALL-COLUMN CONNECTIONS, AND SPACING IS TO BE PERFORMED IN STRICT COMPLIANCE WITH ALL APPLICABLE CODES AND REGULATIONS. THE CONTRACTOR IS THE SOLE RESPONSIBILITY OF THE BUILDING CONTRACTOR.

DATE: DEC 3, 2025  
SCALE: AS NOTED  
DRAWN BY: B. YOUNG  
DATA REF: 8941  
REVISIONS: DATE:

Proposed Garage at 129 Woodland Road Coventry, CT.

SHEET NO. A3

**SURVEY NOTES:**

- 1) THIS SURVEY AND MAP HAS BEEN PREPARED IN ACCORDANCE WITH SECTIONS 20-300b-1 THRU 20-300b-20 OF THE REGULATIONS OF CONNECTICUT STATE AGENCIES "MINIMUM STANDARDS OF ACCURACY, CONTENT AND CERTIFICATION FOR SURVEYS AND MAPS", AS ADOPTED BY THE CONNECTICUT ASSOCIATION OF LAND SURVEYORS INC. ON AUGUST 28, 2019. IT IS A LIMITED PROPERTY IMPROVEMENT LOCATION SURVEY MAP BASED ON A RESURVEY CONFORMING TO HORIZONTAL SURVEY ACCURACY CLASS A-2. THE INTENT OF THIS MAP IS TO DEPICT THE LOCATION OF THE PROPOSED OR EXISTING IMPROVEMENTS SHOWN WITH RESPECT TO THE APPLICABLE MUNICIPAL OR STATUTORY REQUIREMENTS.
- 2) PROPERTY IS LOCATED IN A L.R. (LAKE RESIDENTIAL) ZONE.

**MAP REFERENCES:**

- 1.) PLAN OF BUILDING LOTS BELONGING TO THE LAKE WAMGUMBAUG LAND ASSN. AT SOUTH COVENTRY CONN. 1909
- 2.) PLAN PREPARED FOR MALCOLM GILL & CLAIRE GILL 119 WOODLAND ROAD COVENTRY, CT. ZONING LOCATION SURVEY SCALE: 1"=20' DATE: 1/2/2012 FILE NO. 30048AB SHEET 1 OF 1 HOLMES AND HENRY ASSOCIATES LLC CONSULTING ENGINEERS LAND SURVEYORS LAND PLANNERS 2179 BOSTON TPKE. COVENTRY, CT. 06238 (860) 742-0340
- 3.) PLAN PREPARED FOR LAURA PRELLE 131 WOODLAND ROAD COVENTRY, CT. WETLANDS PERMIT PLAN SCALE: 1"=20' DATE: 4/18/2012 FILE NO. 02007 SHEET 1 OF 1 HOLMES AND HENRY ASSOCIATES LLC CONSULTING ENGINEERS LAND SURVEYORS LAND PLANNERS 2179 BOSTON TPKE. COVENTRY, CT. 06238 (860) 742-0340
- 4.) TOWN OF COVENTRY RIGHT-OF-WAY MAP WOODLAND ROAD COVENTRY LAKE SEWER EXPANSION PROJECT CONTRACT 1 COVENTRY CONNECTICUT PROJ. NO. 99117 A30 DATE AUGUST 2002 2 OF 3 SCALE: HORZ. 1"=40' DATUM HORZ: NAD 83 VERT: NGVD 29 FUS & O'NEILL INC. CONSULTING ENGINEERS 148 HARTFORD ROAD MANCHESTER, CONNECTICUT 06040 860 646 2499

**CONSTRUCTION NOTES:**

- 1.) OWNER OR CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS.
- 2.) OWNER OR CONTRACTOR TO VERIFY ALL DIMENSIONS AND INFORMATION CONTAINED ON THIS PLAN PRIOR TO THE START OF CONSTRUCTION. THE ENGINEER SHALL BE NOTIFIED OF ANY DISCREPANCIES PRIOR TO THE START OF CONSTRUCTION.
- 3.) PRESERVE ANY EXISTING STONE WALLS WHEREVER POSSIBLE.
- 4.) ANY TREES TO BE REMOVED IN THE TOWN RIGHT OF WAY SHALL BE POSTED BY THE TREE WARDEN PRIOR TO REMOVAL.
- 5.) ALL PROPOSED UTILITIES LOCATIONS SHALL BE APPROVED BY THE LOCAL UTILITY COMPANIES PRIOR TO THE START OF CONSTRUCTION.

**EROSION CONTROL CONSTRUCTION SEQUENCE PLAN:**

NOTE: ALL EROSION AND SEDIMENT CONTROL ACTIVITIES SHALL CONFORM TO THE METHODS OUTLINED IN THE CONNECTICUT GUIDELINES FOR EROSION AND SEDIMENT CONTROL MANUAL.

- 1.) COORDINATE MARKING OF LIMITS OF DISTURBANCE BY A LICENSED LAND SURVEYOR. SUPPLY TOWN EROSION CONTROL OFFICER WITH A LETTER FROM THE SURVEYOR CERTIFYING THE LIMITS OF DISTURBANCE WERE MARKED IN ACCORDANCE WITH THE APPROVED PLAN.
- 2.) CLEAR TREES AS REQUIRED.
- 3.) PRIOR TO SOIL DISTURBANCE INSTALL EROSION CONTROL MEASURES, SILT FENCE AND ANTI-TRACKING PAD (SEE PLAN DETAILS AND LOCATIONS). ADDITIONAL MEASURES MAY BE REQUIRED AS SITE CONDITIONS REQUIRE. COORDINATE AN INSPECTION OF INSTALLED MEASURES WITH THE EROSION CONTROL OFFICER. SUPPLY THE TOWN EROSION CONTROL OFFICER WITH THE NAME AND PHONE NUMBER OF A CONTACT PERSON RESPONSIBLE FOR THE EROSION CONTROL MEASURES.
- 3.) PERIODICALLY AND AFTER LARGE RAIN EVENTS INSPECT EROSION CONTROL MEASURES AND REPAIR AS NECESSARY.
- 4.) GRUB AND STRIP TOPSOIL. STOCKPILE TOPSOIL IN AREAS INDICATED ON THE APPROVED PLAN.
- 5.) REMOVE EXISTING GARAGE AND CONCRETE PAD.
- 6.) CONSTRUCT PROPOSED ACCESSORY DWELLING UNIT (ADU) AND INSTALL PROPOSED WATER AND SANITARY SEWER UTILITIES.
- 7.) SPREAD STOCKPILED TOPSOIL. MACHINE RAKE, FERTILIZE, SEED AND MULCH DISTURBED AREAS. USE GRASS SEED THAT IS ACCEPTABLE FOR THE SITE CONDITIONS (I.E. SUN OR SHADE) AND THE SEASON OF THE YEAR IN WHICH THIS ACTIVITY IS COMPLETED. PROVIDE TEMPORARY STABILIZATION OF THE SITE (I.E. STRAW OR HAY ETC.) IF THE TOPSOIL IS SPREAD DURING A TIME OF YEAR WHEN GRASS SEED WILL NOT GERMINATE. PROVIDE PERMANENT STABILIZATION WHEN WEATHER CONDITIONS ALLOW.
- 8.) REMOVE EROSION CONTROL MEASURES AFTER THE SITE HAS BECOME FULLY ESTABLISHED.
- 9.) ANY EXISTING DISTURBED AREAS MUST BE SEEDED WITH PERMANENT OR TEMPORARY GROUND COVER AND MULCHED BY OCTOBER 15.
- 10.) DEWATERING OPERATIONS, IF REQUIRED, SHALL UTILIZE A CRUSHED STONE INTAKE PUMP AND A TEMPORARY OUTLET SILT POOL LOCATED WITHIN THE LIMITS OF DISTURBANCE.

**SITE SEEDING NOTES:**

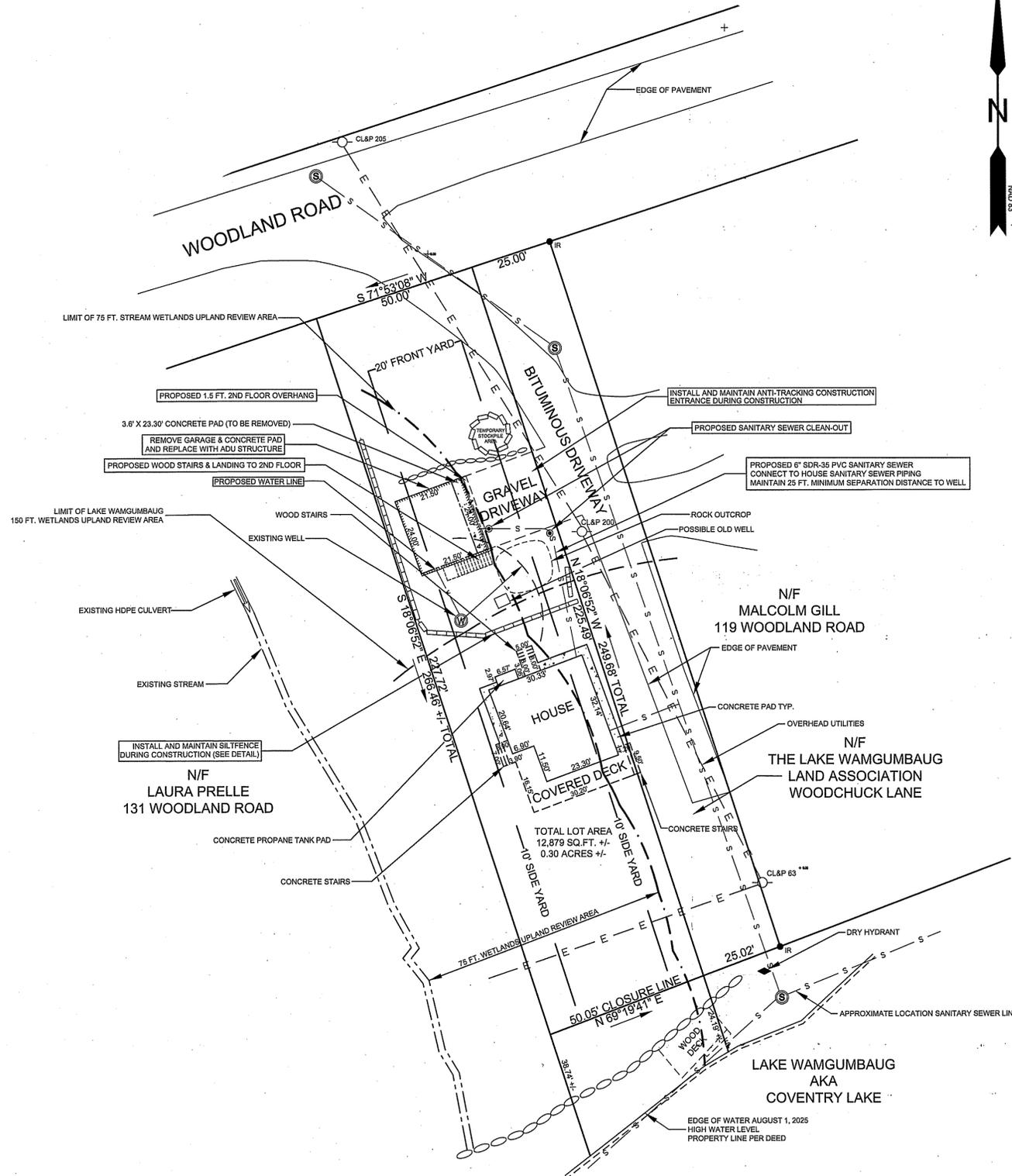
PREPARATION: FINE GRADE AND RAKE SOIL SURFACE TO REMOVE STONES LARGER THAN 2" IN DIAMETER. INSTALL SEEDED EROSION CONTROL DEVICES SUCH AS SURFACE WATER DIVERSIONS AS REQUIRED. APPLY LIMESTONE AT A RATE OF 2 TONS/AC. OR 90 LBS./1000 SQ.FT. FERTILIZE WITH 10-10-10 AT A RATE OF 300 LBS./AC. OR 7.5 LBS. PER 1000 SQ.FT. WORK LIME AND FERTILIZER INTO SOIL UNIFORMLY TO A DEPTH OF 4".

SEED APPLICATION: APPLY SEED MIXTURE FROM THE CHART BELOW BY HAND, CYCLONE SEEDER OR HYDRO SEEDER. INCREASE SEED MIXTURE BY 10% IF HYDRO SEEDER IS USED. LIGHTLY DRAG OR ROLL THE SEEDED SURFACE TO COVER SEED. SEEDING SHOULD BE DONE BETWEEN THE TIMES SHOWN ON THE CHART BELOW. IF SEEDING CANNOT BE DONE DURING THESE TIMES, REPEAT MULCHING PROCEDURE BELOW UNTIL SEEDING CAN TAKE PLACE.

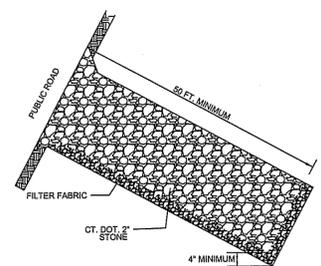
MULCHING: IMMEDIATELY FOLLOWING SEEDING, MULCH THE SEED SURFACE WITH STRAW OR HAY AT A RATE OF 2 TO 3 TONS/AC. SPREAD MULCH BY HAND OR MULCH BLOWER. PUNCH MULCH INTO SOIL SURFACE WITH A TRACK MACHINE OR DISK HOLLOW SET STRAIGHT UP. IF USING HYDRO SEED MIX USE TACTIFIER ADDITIVES TO ADHERE MULCH MATERIAL TO THE SURFACE.

SEED SELECTION:	LB/1000 SQ. FT.	SEED MIXTURE	RECOMMENDED SEEDING DATES
PERMANENT LAWN	0.45	KENTUCKY BLUEGRASS	4/1-8/15
	0.45	CREeping RED FESCUE	8/15-10/1
	0.10	PERENNIAL RYEGRASS	
SLOPES & COARSE LAWN	0.45	CREeping RED FESCUE	4/1-8/15
	0.05	RED TOP	8/15-10/1
	0.45	TALL FESCUE	
SLOPES (NO MOWING)	1.8	CREeping RED FESCUE	4/1-8/15
	0.2	RED TOP	8/15-10/1
TEMPORARY COVER	3.0	WINTER RYE	4/15-8/15, 8/15-10/15
	1.0	OR ANNUAL RYEGRASS	3/1-8/15, 8/1-10/15

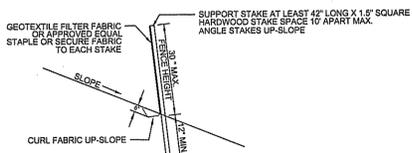
IF SEED IS PLANTED OUTSIDE THE RECOMMENDED SEEDING DATES IRRIGATION MAYBE REQUIRED AT A UNIFORM APPLICATION RATE OF 1 TO 2 INCHES OF WATER APPLIED PER APPLICATION, SOAKING THE GROUND TO A DEPTH OF 4 INCHES.



KEY MAP  
SCALE 1"=500'



ANTI-TRACKING CONSTRUCTION ENTRANCE  
NOT TO SCALE



SILT FENCE DETAIL  
NOT TO SCALE

EXISTING IMPERVIOUS LOT COVERAGE (ALONG PROPERTY LINE)  
HOUSE/COVERED DECK/ CONCRETE STAIRS, CONCRETE SURROUND 1,446 SQ. FT.  
GARAGE/CONCRETE PAD 510 SQ. FT.  
BITUMINOUS DRIVEWAY 398 SQ.FT.  
TOTAL = 2,354 SQ. FT. 18.3%

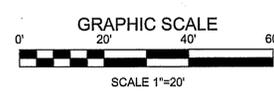
PROPOSED IMPERVIOUS LOT COVERAGE (ALONG PROPERTY LINE)  
HOUSE/COVERED DECK/ CONCRETE STAIRS, CONCRETE SURROUND 1,446 SQ. FT.  
PROPOSED GARAGE/ADU 516 SQ. FT.  
BITUMINOUS DRIVEWAY 398 SQ.FT.  
TOTAL = 2,360 SQ. FT. 18.3%

**LEGEND**

- EXISTING MERESTONE
- IRON ROD TO BE SET
- EXISTING IRON ROD
- ⊙ EXISTING WELL
- ⊕ EXISTING UTILITY POLE
- ⊗ SANITARY SEWER MANHOLE
- ⊞ STONE WALL
- ⊘ PROPOSED SILT FENCE/ LIMIT OF DISTURBANCE

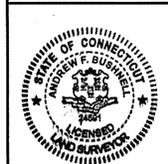
UTILITIES SHOWN ON THIS MAP WERE DERIVED FROM FIELD LOCATIONS AND EXISTING MAPPING CONTRACTOR TO VERIFY LOCATIONS AND DEPTH IN THE FIELD PRIOR THE START OF ANY CONSTRUCTION. "CALL BEFORE YOU DIG (1-800-922-4455)."

AREA OF PROPOSED DISTURBANCE IN WETLANDS UPLAND REVIEW AREA: 1,688 SQ.FT. 0.04 ACRES



TO MY KNOWLEDGE AND BELIEF, THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON.

ANDREW F. BUSHNELL, P.E. L.S. 24591  
THIS MAP IS NOT VALID UNLESS IT BEARS THE EMBOSSED SEAL OF THE LICENSED LAND SURVEYOR WHOSE REGISTRATION NUMBER AND SIGNATURE APPEAR ABOVE.



PLAN PREPARED FOR  
**RICHARD & HEIDI LENHARDT**  
129 WOODLAND ROAD COVENTRY, CT.  
ZONING LOCATION SURVEY  
SCALE: 1"=20' DATE: 8/6/2025 FILE NO. 2025-42 SHEET: 1 OF 1  
**BUSHNELL ASSOCIATES LLC.**  
CIVIL ENGINEERING AND LAND SURVEYING  
563 WOODBRIDGE STREET MANCHESTER, CT. 06042  
860-643-7875  
REVISIONS: 12/15/2025, 1/21/2026